



4 Seasons Home Inspection, LLC

150 Maple Avenue, #128, South Plainfield, NJ 07080
www.4SeasonsHI.com 1-877-547-7383

Buyer

street

Town, NJ xxxxx

Please carefully read the following inspection report in its entirety and the Scope of Inspection. The inspection was a visual inspection and performed accordingly to the New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection. Inspection behind walls, ceilings, flooring or other covered surfaces is excluded from a visual home inspection. That would involve destructive measures to see behind them. A copy was emailed to you if email is available and enclosed with your hard copies for your review if paper copy requested. The home inspection report and any other applicable reports (radon, wood destroying insects) are emailed to you, your attorney or realtor if indicated by initialing appropriate areas on last page of Pre-inspection agreement. If a hard copy was ordered on the last page of your agreement, then and only then will a hard copy be mailed via USPS. Please read all addenda and supplementary attachments. Pursuant to 13:40-15.2 Definitions "Home inspection report," all items in report must not be ignored where recommendations made regarding the need to repair, replace or monitor a system or component, or to obtain examination or evaluation and analysis by a qualified professional, tradesman or service technician. Please call us with any questions or concerns that you may have so that they may be promptly answered before your closing. If recommendations not acted upon or followed up with sellers before closing, it will be solely your responsibility for repairs and costs incurred by not following report recommendations.

RECEIPT

Inspection Date: February 26, 2018 Monday 12pm- 4pm
Client Name: buyer (buyer@gmail.com)
Emails: lawyer@aol.com
Inspection Address: # street town, nj xxxxx
Inspected by: Linda Geczi home inspection lic. #24GI00061500



BUILDING DATA

Approximate Age: ~1952 (66 yrs.)
Style: Single family, lake house
Main Entrance Faces: E
State of Occupancy: Occupied
Weather Conditions: 40-45 °F
Ground cover: wet, rain past 24 hrs.

Home Inspection:	\$---.00
Termite:	INCL.
Radon	\$----.00
Total:	\$ ---.00

Paid by: check # 111

Cc: Lawyer, Esq.

Main Concerns (p.2-5) and detailed report follows this page (6-64)

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

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Recommend qualified state registered contractors or licensed professionals further evaluate, address the following *material defects/deficiencies* and/or make repairs and inspect inaccessible areas *before closing and contractual limitations* or obligations.¹ The items in the report are **“Recommendations”** and it is up to the buyer and seller to discuss these and is ***not a mandate or a code inspection***.

Responsibilities of repairs, negotiations, appraisals, obtaining all closed permits for work done to home, property survey/boarders, mortgages, costs of repairs/estimates, advise on purchase, etc. **are not** part of a home inspection and should be discussed with your *Attorney*. Refer to Standards of Practice 13:40-15.16 and Pre-Inspection Agreement 13:40.15.15. **READ entire REPORT and recommendations.****

1. **STRUCTURE**: The foundation walls were inaccessible due to finished section of basement. The utility room or mechanical area had painted foundation walls and cracks; limited view. The siding was low to ground on exterior; limited view of foundation from exterior. There were structural changes, additions and modifications made to the home after time of build. There were changes made to a side door (enclosed in living room) and vaulted ceilings on the main level. Recommend obtaining closed township permits for all structural modifications and changes made to the home as required by the township before closing & contractual limitations. The basement was structurally modified and floor lowered or a prior crawl space. The basement steps had floor joist pieces placed under ends of stringers for staircase; unconventional. A left foundation wall added or expanded under the side porch, doors added from front section of basement to rear and a rear door to outside. There were steel lally columns and U-brackets/concrete beams in rear and left sides. The rear basement door did not have a header, unconventional framing or improper installation. There was a door flap for a pet access; potential entry point for other animals, water/wind/weather elements, energy loss, etc. There was water/moisture and wood destroying insect (WDI) damage on a triple beam and wood paneling below the beam on left side of the home. See separate NPMA-33 Wood destroying insect report. Recommend a licensed Pest Company treat for carpenter ant and further evaluate any other WDI infestation when repairs made. The built up beam on right side of basement had cracks/splits, unsupported butt ends and sagging along the beam. There was a temporary screw jack on front wall and a steel column & improper floor joist sistering on right front section of basement. The flooring was sloped throughout the home and canted doorways. There were foundation cracks, gaps and openings on foundation; limited view. There were structural defects/deficiencies in the home. Recommend a structural carpenter and/or building contractor and structural engineer (PE) evaluate structure, structural modifications, extent of structural, water & insect damage and advise on all repairs before closing and contractual limitations.
2. **WOOD DESTROYING INSECT/DAMAGE**: There was water and wood destroying insect (WDI) damage on a triple beam and wood paneling below the beam on left side of the home. See separate NPMA-33 Wood destroying insect report. Recommend a structural carpenter and engineer (PE) evaluate structure and extent of damage and advise on all structural repairs. Recommend a licensed Pest Company treat for carpenter ant and further evaluate any other WDI infestation when repairs evaluated.
3. **ABANDONED PIPING/DRAINS**: There was indication that there may be a past septic on property; cut off or terminated waste piping in basement on rear wall. Further evaluate with the township or health department for follow-up to see if a septic system was removed on property. Septic systems if existing and not properly terminated can pose a potential sink holes or safety hazard.

4. **SIDING (Heat damage)/WINDOWS/EXTERIOR DAMAGE** : There was a through wall A/C unit improperly installed; gaps and open for water intrusion. Recommend a siding contractor evaluate & advise on proper installation and extent of all water & concealed damage. There was painted vinyl siding on left, right and rear side of home. The front was wood vertical siding or panels. The siding was in poor condition and unconventional installation (improper or handyman). There was siding with improper clearance to soil/ground, gaps/openings/separations/expansion spray foam, missing flashings/J-molding/capping/wrapping, exposed wood in rear to side of deck & corners, missing deck/house flashings, melted vinyl siding on left and right sides. There were foundation cracks, gaps and openings on foundation; mice or rodent droppings observed in the home and electrical panel. There were structural modifications & expansions made to the home; left side, rear addition, vaulted ceilings, enclosed doorway (by A/C living room) and basement deepened or lowered from a crawl space. Windows were in poor condition; extensive rot, missing flashings, exposed wood (not painted, no capping or flashings). The windows were ***not opened*** due to extensive rot and potential for them to not close back up if opened. There were structural defects in basement; girder/beam cracks, sagging/unsupported butt ends, moisture & wood destroying insect damaged beam (left side), etc. The homes exterior, structure & modifications should be evaluated by a building contractor and structural engineer (PE). The envelope of the home (roof, siding/exterior cladding, windows & doors) was in poor condition, water intrusion and damage observed. Rule out or determine extent of all concealed or hidden water, wood destroying insect damage, structural damage, etc. The rear basement door did not have a header and unconventional framing; improper installation. Recommend a siding & building contractor evaluate siding & trim/***heat damage & causes***/buckling/exterior, windows, doors, foundation and advise on all repairs including concealed or hidden damage. before closing & contractual limitations.
5. **ROOF/VENTILATION/SKYLIGHTS/GUTTERS/TREES/CHIMNEY**: The roof was old and past expected life. There was granular/aggregate lose, curling, widening keyways, tarred/cracked roof junctures/chimney/penetrations, nail pops, cracking, brittle/sun or heat damage, exposed felt, moss build-up, chipped/broken edges, cupping, leaking around skylights (vapor seal breaks/cloudy), poor ventilation, etc; poor condition. Hot humid attic or poor ventilation will shorten life of roof. The gutters were old, dented, leaking, exposed fascia/rotted wood, bent, backed out spikes/nails, leave/twig filled/clogged/not draining, etc; poor condition. Recommend removing trees and branches too close to the roof and house. Recommend a building contractor and/or roofer evaluate roof for extent of wood/water damage, roof replacement (tear off), gutters, ventilation and skylights. The chimney had cracks, water intrusion, efflorescence, rusted metal wire lathe (where broken or cracked below the cement) and tarred junctures; water intrusion. Recommend a chimney contractor and building contractor evaluate chimney structure/cracks/water intrusion, roof & chimney flashings and advise on all repairs including concealed damage before closing & contractual limitations.
6. **STEPS/DECK**: The wood steps were in poor condition; have a building contractor evaluate for replacements. The decking was old and unconventional building practices; railings not attached to house, improper bolting/attachment to house, low & loose railings, railing/baluster gaps, no house/deck flashings, wood to soil contact, moss/algae/dark staining, splintered wood, nail pops, etc. There was exposed wood or missing siding in rear to side of decking. Recommend a building contractor evaluate deck & steps and advise on replacement.

7. **PLUMBING:** The water heater and boiler did not have extension pipes off the TPR valves. The drain under the bathroom sink was not plumbed properly ; not pitched toward the rear drain, flexible connector (tend to collect hair). There was a propane tank on right or driveway side; unknown use. The stove was electric, the water heater was electric and the boiler was oil. Further evaluate propane tank status. If not in use, recommend removing. The tank should be strapped or secured to the home and a bollard for safety if staying and intended use. There was calcium buildup on the tub spigot and the divertor was stuck in the up position and gaps. Calcium/mineral build up was on fixtures and plumbing in the home; indicative of hard water. See plumbing comments. Half of the water was coming out of the tub spigot and some out of the shower head. The drain piping was improper; not pitched properly and flexible handyman connector; potential for back up. There was corrosion on copper piping, fittings and valves under the bathroom sink. Recommend a licensed plumber evaluate fixtures, corrosion, drain pipe installation (bathroom), abandoned drain pipes (basement), calcium/mineral build-up, stuck divertor (bathtub), etc. and advise on repairs.
8. **TANK SWEEP/BOILER:** Recommend a property tank sweep to rule out any buried oil tanks on property. The boiler was very old (~39+yrs.), corrosion (piping, fittings, valves,etc.), no pipe extension off TPR valve, cloudy pressure guage (not visible), AL foil covering sight glass, class I duct tape on vent connection (improper use), etc. The boiler was in poor condition and past expected life. The bathroom baseboard was not attached to the wall properly; unsafe. Recommend a boiler contractor evaluate boiler, advise on replacement and securing loose baseboards in the home. There was an old ventless gas wall space heater in the finished section of basement. The gas valve was found in the “off” position and not lighted or tested. These ventless space heater can be dangerous and must be evaluated by a qualified HVAC contractor if intending to use it for fire/life safety. Ventless space heater must have safety shut off and use with make up air according to the manufacturer; further evaluate with manufacturer. There were oil stains on oil tank in basement; have evaluated by oil company to rule out any leaking or seepage.
9. **RETAINING WALLS/EROSION/NEGATIVE GRADING & POOR DRAINAGE:** There was a steep drop off on left side/rear of house/ by driveway, leaning retaining walls, negative grading & poor drainage and soil erosion; conducive to structure damage and wet basement. There was seepage or water/moisture stains or wet conditions observed in basement. There were several retaining walls around the home or property; wood or cement. Follow up with property survey and sellers to see which are the responsibility of this property. Retaining walls had damage, wood rot, leaning or cracked; failed walls and not retaining soil as intended. Recommend a retaining wall contractor, grading & drainage contractor and wet basement contractor evaluate the home/property and advise on grading & drainage, erosion control measures and water management system(s) to maintain a dry structure and maintain retaining walls to protect the structures.

10. **CHIMNEY:** Recommend chimney sweep clean/evaluate chimney. The chimney had cracks, water intrusion, efflorescence, rusted metal wire lathe (where broken or cracked below the cement) and tarred junctures; water intrusion. Recommend a chimney contractor and roofer evaluate chimney structure/cracks/water intrusion, roof & chimney flashings and advise on all repairs including concealed damage before closing & contractual limitations.
11. **ELECTRICAL:** The kitchen outlets and exterior outlet were on same circuit; improper installation & should be separated for safety. There was a switch on front wall in living room/kitchen that are not apparently operating any devices. Further evaluate with the sellers and/or electrician. The living room ceiling fan did not have a remote or a wall switch that worked and a black electrical wire hanging out of ceiling mount; further evaluate. There were mice dropping and/or grease tracks on bottom of the electrical panel, wiring/ledges in basement and in the home. Recommend a building contractor evaluate all entry points for sealing/closing up gaps. Mice or rodents can chew on electrical and cause damage or potential health hazards. There were loose wires or cables in the attic; view from ladder in bedroom closet scuttle. Recommend having wiring evaluated and advise on cleanup/repairs for safety. There were loose or hanging wires/cables/boxes, improperly installed electrical boxes, missing covers, ceiling fan not working (wires sticking out of ceiling), etc. Recommend a licensed electrician evaluate electrical in home and advise on repairs for safety.

¹ **Pursuant to NJAC 13:40-15.2 Definitions:**

"Material defect" means a condition, or a functional aspect, of a structural component or system that is readily ascertainable during a home inspection that substantially affects the **value, habitability, or safety of the dwelling**, but does not include decorative, stylistic, cosmetic, or aesthetic aspects of the system, structure or component.

**** Any and All recommendations noted in this report either written or verbal, advised either further evaluation, repair and/or replacement should be completed prior to the home inspection contingency expiring and/or any other contractual obligation expires.****

SUMMARY

Repairs are recommended for any comments or defects that are stated in this report. Every home must be regularly maintained and will require repairs. Problems will occur and things will break. This report is designed to help reduce the possibility, but will not eliminate them from happening. Issues can and will arise at any time. Budget accordingly to maintain the home. Recommend checking with local authorities/townships/city/Boro/county/state for required & closed permits on additions and alterations before closing & contractual obligations. ***Please be advised that it is important to read the entire report and the remarks pages that are sent separately to the client. These remarks pages contain important maintenance information that the client needs to be aware of.*** All homes will need repairs, routine maintenance and upgrades over the course of its life. Addressing plumbing, heating, electrical, grading & drainage, roof/gutters and other mechanical problems or issues as they occur, with qualified registered contractors and/or licensed professionals, should be done to keep home maintained properly. Older homes will often require structural upgrades when renovations are made. These will be dictated by the engineer and or architect designing the renovation or modification to bring structure up to current building practices and township specifications and as per the local, county or state building codes. A home inspection is **NOT** a code inspection. It is recommended to obtain all closed township permits for history of home before closing & contractual limitations. Recommend a "Home Warranty" or maintenance service; check with the realtor, lawyer or insurance companies in the service areas to help cover costs of repairs, replacements and schedule service/maintenance on all systems in the home. Roof leaks are number one cause of water damage to interior of home. Damage can often be concealed inside walls of interior and often revealed either when renovations are done or when water issue is ongoing for a period of time. Water damage can include structural as well as environmental manifestations such as mold and mildew among others. All roofs should be inspected yearly, gutters cleaned several times a year. These systems must be maintained, repaired or replaced as per the tradesman, contractor or professional to provide a water tight cladding to protect the home. Often a damage found does not necessarily correspond to the roof directly above, but at some other part of the roof. Water can travel below the surfaces of roof and end up in any number of places that are hidden or concealed. Roof penetrations, plumbing vents, skylights, chimneys, etc. must be checked yearly for leaks. A general visual home inspection cannot open up walls, ceilings, flooring or guess what is behind them. This uncertainty is always possible when roof, flashing, siding and all exterior systems are not maintained.

"If there is anything in the report that you do not understand you must contact us promptly prior to closing. If not addressed, any ignored item(s), misunderstood or overlooked as to their importance and implication(s,) can and frequently do, result in negative outcome and incur costs to repair or replace." Please read **REMARKS addendum** as it is part of the report and contains important information. Any areas reported as inaccessible and not inspected or evaluated must be made accessible and inspected prior to the closing.

All items must be addressed and repaired prior to closing & contractual limitations.

Recommend qualified registered contractors or licensed professionals further evaluate, address defects and/or make repairs before closing and contractual limitations or obligations. Responsibilities of repairs, negotiations, appraisals, property survey/boards, mortgages, costs of repairs/estimates, advise on purchase, etc. are not part of a home inspection and should be discussed with your Attorney. Refer to Standards of Practice 13:40-15.16 and Pre-Inspection Agreement 13:40.15.15 that were sent out/emailed immediately when the inspection was booked/scheduled to see the scope of inspection, what is covered, not covered and limitations, obstructions, inaccessible areas, etc. Homes cannot be damaged or coverings removed (walls, ceilings, carpeting, flooring, etc.), storage, personal items, furniture, etc. manipulated in a visual non-invasive home inspection.

READ entire REPORT and recommendations by following up with the licensed professionals & state registered contractors for further evaluations, seller's permission for more technically exhaustive/invasive evaluations, repairs and/or replacements where concerns, defects, deficiencies or concerns reported immediately before taking ownership and closing.

* Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks. Boxed area may have been checked or unchecked inadvertently- written comments are most important and purposely written into report, which may not reflect boxed area checked. Call with any questions you may have before closing and contractual limitations. **Note that corrections, additions or amendments to report may be made after initial report if deemed necessary by the inspector and sent to you, your lawyer or realtor as indicated on the Pre-inspection agreement.**

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

REPORT OVERVIEW

THE HOUSE IN PERSPECTIVE

CONVENTIONS USED IN THIS REPORT- ALL SYSTEMS IN HOME MUST BE SERVICED YEARLY AND PROPERLY MAINTAINED AND UPGRADED AS THEY AGE

SATISFACTORY* - Indicates the component is functionally consistent with its original purpose but show signs of normal wear and tear and deterioration and will need maintenance or repairs at any time over its life. Plan and budget for these repairs, replacement and upgrades. Have systems must be serviced regularly and maintained and check the manufacturer's limited warranty and if transferrable.

MARGINAL * - Indicates the component needs repairs, upgrade, monitor and/or replacement anytime over its life. Plan and budget for these repairs, replacement and upgrades. Defects exist- have evaluated and repaired.

POOR* - Indicates the component needs repair or replacement now. Defects exist- have evaluated and repaired.

SAFETY HAZARD* - Denotes a condition that is unsafe and in need of prompt immediate attention now. Defects or deficiencies exist that pose a danger or unsafe condition.

***NOTE:** All observations or comments reported in this written report should obtain examination and analysis by a qualified professional, tradesman or service technician for that concern, defect or repair prior to closing for cost of repairs, replacement or upgrade.

THE SCOPE OF THE INSPECTION (READ & UNDERSTAND)

All components designated for inspection in the **New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection** except as may be noted in the "Limitations of Inspection" sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. This inspection should not be considered as an opinion or as advice as whether or not to purchase the property. Not all recommendations will be identified during this inspection. It is not our job or function to fix or solve a problem. We report on the conditions at time of inspection and recommend a specialist to further evaluate and advise on cost of repairs or remedy. Home inspectors are "Generalists" not experts or builders. A home inspection is not a CODE inspection. ****A certificate of occupancy or habitability should be obtained before closing. Township code officers perform code inspections for that certificate; not home inspectors.*** Code issues may arise that need corrections that are not part of a general home inspection and should be addressed before closing. Unexpected repairs as well as maintenance should still be anticipated. All systems and building structure will age and need repairs regardless of the age of home. Plan and budget accordingly. The inspection is not considered a guarantee or warranty of any kind. It is a snap shot in time and conditions will change with time. A "Home Warranty" is readily available from most realtor offices or on the market to help defray the cost of repairs during the life of a home. We strongly recommend this and all other forms of service plans for HVAC and insurance on sewer and water main lines.

In addition to the NJ standards, please refer to the pre-inspection agreement/contract according to NJAC 13:40-15.15, for a full explanation of the scope of the inspection. All reported items of consideration in this report must be addressed for repair evaluation and cost prior to closing. Any conditions concealed, latent, inaccessible or covered up at time of inspection are NOT the responsibility or liability of the home inspector or company. Walls, ceilings, carpeting, or other forms of coverings or finished surfaces cannot be removed during a non-invasive home inspection. Therefore, to see into walls and below surfaces can only be done with a contractor that can perform invasive inspections. We cannot guess or comment on anything behind coverings and report on non-visual or concealed areas. There is always a chance for concealed damage or mold or other structural concerns within walls, floors and ceilings. ***If you are not satisfied with a visual inspection, it is recommended to engage in those contractor or trades for invasive services that can open up walls, ceilings or flooring before closing since it cannot be done in a visual home inspection with permission from seller(s).*** This is under the law in the New Jersey Standards of Practice 13:40-15.16 for a licensed home inspector in the state of New Jersey.

We Always Miss Some Minor Things & cosmetics excluded- Read Pre-Inspection agreement

The intent of the inspection is not to find minor problems or cosmetic items. It is to find major problems or defects. The minor problems that are identified were discovered while looking for more significant problems. We may note them simply as a courtesy.

Not Insurance or Warranty & Not Code inspection

In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy or warranty. Concealed & inaccessible areas cannot be inspected and should follow up with a contractor.

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GROUNDS

SERVICE WALKS None *Public sidewalk needs repair*
Material: Concrete stone pieces Gravel Brick Other
Condition: Satisfactory Marginal Poor *Trip Hazard*
 Pitched towards home *Settling/ cracks* Not visible

DRIVEWAY/PARKING None
Material: Concrete Asphalt Gravel/Dirt Brick Other
Condition: Satisfactory Marginal Poor cracks- seal/repair where cracked
 Pitched towards home *Trip hazard* *Settling Cracks*

PORCH (COVERED ENTRANCE) left side – raised porch over a basement (expansion of home)
Support Pier: Concrete left wall of basement, concrete & metal beam & lally columns below
 Wood Not visible Other- over an expanded basement
Condition: Satisfactory Marginal Poor- seal/repair cracks
 Railing/Balusters lower than today's building practices- recommend higher railings and child safe balusters
Floor: Satisfactory Marginal Poor *Safety Hazard*

STOOPS/STEPS None *Uneven risers*
Material: Concrete Wood Other *Railing/Balusters recommended*
Condition: Marginal (concrete) Poor- wood steps *Cracks* *Settled, sloped*
 Rotted/Damaged *Safety Hazard*

PATIO None

DECK/BALCONY (*flat, floored, roofless area*) rear
Material: Wood Deck very old and past its expected life
Finish: Treated/ Painted/Stained Other
 Improper attachment to house (unconventional bolting)
 Railing loose & not attached to house
Condition: Satisfactory Marginal Poor
 Wood in contact with soil (footers slightly below soil)- wood to soil contact will cause rotted wood & attract wood destroying insects

DECK/PORCH COVERS Same as roof- see roofing section comments *Earth to wood contact*

LANDSCAPING AFFECTING FOUNDATION (See remarks page)
Negative Grade: East West North South Correct negative grading & drainage
 Steep drop off in rear of house & erosion
 Recommend additional backfill and erosion control measures
 Recommend window wells/covers *Trim back trees/shrubberies & remove where too close*
 Wood (fence, deck posts, steps) in contact with/improper clearance to soil

NOTE: *Sink holes and other Geological issues are NOT part of a general home inspection*

13:40-15.16 (f)1(v) Standards of practice

v. Vegetation, grading, drainage, and retaining walls with respect to their immediate detrimental effect on the condition of the residential building, excluding fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, or erosion control and earth stabilization;

RETAINING WALL None Material: **concrete, wood** *Drainage holes recommended*
Condition: Satisfactory Marginal **Poor**
 Safety Hazard *Leaning/cracked/bowed, rotted wood*
 Confer with the installer & a Geo- technical engineer for specifications & installations as per the manufacturer and local Township rules. Obtain all closed permits for retaining walls before closing.

(Relates to the visual condition of the wall)

HOSE BIBS**Operates:** Not visible or found Yes (right side) No Frost free & anti-siphon valve Not tested in winter Not on**GENERAL COMMENTS**

GROUNDS: The wood steps were in poor condition; have a building contractor evaluate for replacements. The walks were older and combination of concrete and stone or slate pieces; settled, cracks, uneven; trip hazard. Recommend a mason or building contractor evaluate walks and make repairs where needed. The driveway had cracks and tree root damage; trip hazard. Recommend a tree company remove root or trees too close to the structures to avoid ongoing damage. Recommend a driveway contractor evaluate driveway and make repairs/upgrades where needed. The decking was old and unconventional building practices; railings not attached to house, improper bolting/attachment to house, low & loose railings, railing/baluster gaps, no house/deck flashings, wood to soil contact, moss/algae/dark staining, splintered wood, nail pops, etc. The was exposed wood or missing siding in rear to side of decking. Recommend a building contractor evaluate deck and advise on replacement. There was negative grading & poor drainage around the home; seepage or water/moisture stains or wet conditions observed in basement. There was a steep drop off on left side (retaining wall) and rear of house and driveway, leaning retaining walls and soil erosion; potential for structure damage. There was negative grading & poor drainage around the home. Recommend maintaining a positive pitch of soil around foundation for proper water drainage away from house. There were several retaining walls around the home or property; wood or cement. Follow up with property survey and sellers to see which are the responsibility of this property. Retaining walls had damage, wood rot, leaning or cracked; failed walls and not retaining soil as intended. Recommend a retaining wall contractor, grading & drainage contractor and wet basement contractor evaluate the home/property and advise on grading & drainage, erosion control measures and water management system(s) to maintain a dry structure and maintain retaining walls to protect the structures. Recommend upsizing gutters with roof; see roof section comments. Stones, mulch and vegetation are not recommended around foundation; tends to trap water against foundation and cause wet basements. There were trees too close to house, driveway or structures. Recommend removing trees too close to house, roof, driveway or structures; potential for damage. Trim back or cut away trees, shrubs and branches away from house. Remove trees and or branches too close to roof, structures and electrical cables/communication lines for safety. Overhanging trees and overgrowth can cause mechanical damage, moss, algae, attract carpenter ants, raccoons, squirrels or other animals. Recommend window well covers for all basement windows to keep out water, ice snow and avoid wet basement. There was a propane tank on right or driveway side; unknown use. The stove was electric, the water heater was electric and the boiler was oil. Further evaluate propane tank status. If not in use, recommend removing. The tank should be strapped or secured to the home and a bollard for safety if staying and intended use. There was a broken or missing section of fencing, leaning fencing and a steep hill or drop off; fall hazard (dangerous). Recommend a fence contractor evaluate fence and advise on all repairs. Fences are not part of home inspection however it poses a fall or dangerous safety hazard on property.

CONCERNS:

1. **There was a steep drop off on left side/rear of house/ by driveway, leaning retaining walls, negative grading & poor drainage and soil erosion; conducive to structure damage and wet basement. There was seepage or water/moisture stains or wet conditions observed in basement. There were several retaining walls around the home or property; wood or cement. Follow up with property survey and sellers to see which are the responsibility of this property. Retaining walls had damage, wood rot, leaning or cracked; failed walls and not retaining soil as intended. Recommend a retaining wall contractor, grading & drainage contractor and wet basement contractor evaluate the home/property and advise on grading & drainage, erosion control measures and water management system(s) to maintain a dry structure and maintain retaining walls to protect the structures.**
2. **There was a propane tank on right or driveway side; unknown use. The stove was electric, the water heater was electric and the boiler was oil. Further evaluate propane tank status. If not in use, recommend removing. The tank should be strapped or secured to the home and a bollard for safety if staying and intended use.**
3. **Recommend a building contractor evaluate walks and driveway and make repairs for safety.**
4. **There was a broken or missing section of fencing, leaning fencing and a steep hill or drop off; fall hazard (dangerous). Recommend a fence contractor evaluate fence and advise on all repairs. Fences are not part of home inspection however it poses a fall or dangerous safety hazard on property.**
5. **The decking was old and unconventional building practices; railings not attached to house, improper bolting/attachment to house, low & loose railings, railing/baluster gaps, no house/deck flashings, wood to soil contact, moss/algae/dark staining, splintered wood, nail pops, etc. The was exposed wood or missing siding in rear to side of decking. Recommend a building contractor evaluate deck and advise on replacement.**
6. **The wood steps were in poor condition; have a building contractor evaluate for replacements.**



Figure 1 Steep drop off and missing/broken fencing. Fencing was loose, leaning, damaged and missing sections; safety hazards/dangerous.









ROOF

ROOF VISIBILITY All Partial None Limited by: Angle

INSPECTED FROM Roof Ladder at eaves Ground (*Inspection Limited*) With Binoculars

STYLE OF ROOF

Type: Gable Hip Mansard Shed Flat Other
Pitch: Low Medium Steep Flat

ROOF COVERING

Roof #1: Type: **Asphalt roof** Estimated Layers*: **1*** Approximate age of cover: **past life**

Layers- only the visible layers; drip edges can conceal additional layers.*

NOTE: It is always recommended to obtain roofing information on brand and warranty due to current concerns with some GAF and other manufacturer's architectural roof shingles involved in a class action suit to err on side of caution. Often it cannot be determined by visual inspection. Age of roof is only an approximation. Installer's paperwork is only proof of age.

VENTILATION SYSTEM **Type:** Soffit Ridge Gable- fan at gable/inaccessible to check & test
 Roof

Appears Adequate: Yes No Turbine Powered Other More ventilation recommended
(See Interior remarks page) (See Attic section)

Need more Ventilation to avoid mold-like substances, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage an shortening life of roof.

FLASHING **Material:** Galv/Alum Asphalt Not visible Rubber
Condition: Not visible Poor- Tarred junctures/flashings- cracks on tar Rusted
 Separated from chimney/roof Recommend Sealing Other

VALLEYS Not visible N/A **Material:** Galv/Alum Asphalt Lead Copper
Condition: Not visible Satisfactory Marginal Poor
 Rusted Holes Recommend Sealing

CONDITION OF ROOF COVERINGS **Roof #1:** Poor

Condition: Curling Cracking cracked tarred roof junctures, chimney, skylights, roof penetrations
 Broken edges/chipped
 Nail popping Granules missing Exposed fascia/wood rot Brittle shingles/sun damage
 Moss buildup Exposed felt Cupping Widening keyways
 Multi layer roof- are never recommended
 Rusted roof nails and dark rings, pine sap beads on roof rafters- hot humid/poorly ventilated attic
 Need more Ventilation to avoid mold, condensation, heat build-up, sheathing/structure damage

s

READ THIS NOTE: Keep all roofs in **LEAK –FREE condition**. If not in leak-free condition, water can and will leak into a home, causing damage, and mold like conditions. Anything checked off above in conditions section must be addressed/corrected/evaluated and repaired/replaced by a qualified roof prior to closing and contractual limitations. Plan for repairs and roof replacement. Obtain closed roof permits from township/Boro/City and plan and budget for roof repairs & replacement. Ask if roof is under a transferrable warranty. Water damage and mold can be concealed behind walls, ceilings or any other covering that cannot be seen during a Visual Home Inspection. Refer to the NJ Standards of Practice sent with

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your Pre-Inspection contract. If you have any concerns, you must engage in a contract with a licensed contractor to open up walls, ceilings, flooring or other cladding or covering by arranging it with the sellers before closing to rule out hidden problems, mold or other water related issues. There are costs associated with this type of invasive investigation. This will involve destructive means that is beyond the scope of a general visual non-invasive home inspection under New Jersey law. See siding section for similar comments about hidden damage.

MULTI-LAYER ROOFS: Multi-layers will shorten life of existing roof. There are many disadvantages of having multi-layer roofs even though it may be acceptable in many municipalities across New Jersey. Multi layers wear faster or shorten the current roof layer because of the uneven surface that it was laid over. These roofs are heavier and increase the dead load thereby placing the roof structure under greater load often causing deflection. Deflection was observed from street or distance looking at roof. Multi layers (ML) are more inclined to have shingles blow off especially if nails cannot penetrate the roof decking. The key factor or weakness in ML layer roofs are the fact that flashings are not replaced without stripping off roof. This makes the roof vulnerable in areas where old flashings remain and often tarred over. The sun's UV rays cracks tar year to year and water leaks in these areas. ML roofs tend not to dry out sufficiently and thus accelerating the ageing or deterioration of the newest layer. Flashings are the most important detail of a well installed roof to help protect the junctures and penetrations from water entry. A ML roof lacks new flashings since it was not striped off for their installations. ML roofs will make attic hotter, trap moisture and cause sheathing damage, rot and mold due to trapped heat and moisture. Roofs should have more or maximum ventilation. Have roof, ventilation and gutters evaluated by qualified roofer before closing.

SKYLIGHTS N/A *Cracked/Broken* Not visible Cloudy or overcast; limited visibility
Condition: Satisfactory Marginal Poor **Tarred/leaking/vapor seal breaks** Dirty

PLUMBING VENTS Yes No Satisfactory Marginal Poor

Recommend roofer evaluate and advise on costs of roof/gutters/ventilation/skylights before closing

Maintain roofs in leak free, debris free condition as well as gutters year round to avoid internal or concealed leaking into the home and potential water/mold like substances/wood destroying insects

Conditions reported above reflect visible portion only

GENERAL COMMENTS

ROOF: The roof was old and past expected life. There was granular/aggregate lose, curling, widening keyways, tarred/cracked roof junctures/chimney/penetrations, nail pops, cracking, brittle/sun or heat damage, exposed felt, moss build-up, chipped/broken edges, cupping, leaking around skylights (vapor seal breaks/cloudy), poor ventilation, etc.; poor condition. There was poor ventilation; see roofing section comments. There was pine sap beads on rafters/roof lumber and dark rings around roofing nails; indicative of hot humid attics. Ventilation appears inadequate. Hot humid attics will typically shorten life of roof, can potentially cause heat damage (splits, delamination, etc.) and conducive to mold/mildew. Recommend a building contractor and/or roofer evaluate roof for extent of wood/water damage, roof replacement (tear off), gutters, ventilation and skylights before closing & contractual limitations. The gutters were old, dented, leaking, exposed fascia/rotted wood, bent, backed out spikes/nails, leave/twig filled/clogged/not draining, etc.; poor condition. Recommend replacing gutter along with roof. Do not install covers or screens; will reduce the water collection ability. Gutters should be larger (~6") uncovered, no screens and extend at least 6-8 ft. away from house. Recommend removing trees and branches too close to the roof and house. All underground drains should be cleaned and maintained for flow and drainage. Obtain the closed permits for roof from township and any warranty from roofer if applicable and transferrable. All roofs will need repairs at some point during the life of the roof; expect these and plan for them. Only a roofer should make repairs and not a handyman or non-roofer. Always check roofs after rains, high winds or severe weather including winter storms. Ice and snow build-up in gutters can cause leaks in the interior; keep gutters cleaned and flowing year round for proper drainage.

CONCERNS:

- 1. The roof was old and past expected life. There was granular/aggregate lose, curling, widening keyways, tarred/cracked roof junctures/chimney/penetrations, nail pops, cracking, brittle/sun or heat damage, exposed felt, moss build-up, chipped/broken edges, cupping, leaking around skylights (vapor seal breaks/cloudy), poor ventilation, etc.; poor condition. There was poor ventilation; see roofing section comments. There was pine sap beads on rafters/roof lumber and dark rings around roofing nails; indicative of hot humid attics. Ventilation appears inadequate. Hot humid attics will typically shorten life of roof, can potentially cause heat damage (splits, delamination, etc.) and conducive to mold/mildew. Recommend a building contractor and/or roofer evaluate roof for extent of wood/water damage, roof replacement (tear off), gutters, ventilation and skylights before closing & contractual limitations.**

2. The gutters were old, dented, leaking, exposed fascia/rotted wood, bent, backed out spikes/nails, leave/twig filled/clogged/not draining, etc.; poor condition. Recommend replacing gutter along with roof. Do not install covers or screens; will reduce the water collection ability. Gutters should be larger (~6") uncovered, no screens and extend at least 6-8 ft. away from house. All underground drains should be cleaned and maintained for flow and drainage. Recommend removing trees and branches too close to the roof and house.





Figure 2 Roof was in poor condition; have evaluated for replacement, metal/proper flashings (no tarring), skylights, ventilation, gutters.



Figure 3 Water damaged/exposed wood, roof shingles old and poor condition. Recommend a roofer evaluate roof and advise on roof replacement, ventilation, gutters, skylight before closing & contractual limitations. Gutters, roof and exterior were in poor condition; see roofing, gutters, exterior/siding comments.

CHIMNEY/GUTTERS/SIDING/TRIM

- CHIMNEY(S)** None Location(s): right side
- Viewed From:** Roof Ladder at eaves Ground with binoculars
- Note:** Chimney inspection is very limited during a home inspection. Sections at top, cap, liners are often not visible. Level II chimney inspection is always recommended prior to closing to fully inspect the chimney.
- Rain Cap/Spark Arrestor:** Yes No *Recommended*
- Chase:** Brick Stone Metal cement Framed
- Evidence of:** cracks on chimney chase Cracked chimney cap Cracks on cement chase (water intrusion)
- Flue/Liner:** Tile Metal *Unlined* Not visible
- Evidence of:** Scaling Cracks Creosote *Not evaluated (See remarks page)*
- Have flue(s) cleaned and re-evaluated* *Recommend Cricket/Saddle/Flashing*
- Condition:** Satisfactory Marginal Poor- cracks & water intrusion

GUTTERS/SCUPPERS/EAVES TROUGH

- Dirty, clogged or poorly maintained gutters will cause leaks into interior or behind walls. Clean often and checked frequently.
- Needs to be cleaned yearly or more often* *Downspouts missing*
- An ice dam is a ridge of ice that forms at the edge of a roof and prevents melting snow (water) from draining off the roof. The water that backs up behind the dam can leak into a home and cause damage to walls, ceilings, insulation, and other areas.
- Material:** Copper Vinyl/Plastic Galvanized/Aluminum Other
- Condition:** Poor *Dented/bent* *Sagging, clogged/leave filled/not functioning properly*
- Holes/leaking/gaps/juncture separations, etc.*
- Leaking:** Corners Joints *Main runs* *Filled with leaves/twigs- Clogged/leaking*
- Attachment:** Loose *Backed out spikes* *Improperly sloped (See remarks page)*
- Extension needed:** Extend where above ground and clean underground drains for flow and proper drainage

SIDING

(*See remarks page EIFS)

- Material:** Wood panels Vinyl- painted blue (peeling) Other
- Buckled & Melted/Heat damaged siding on left and right sides where vinyl
- Wood rot- sheathing/fascia/roof decking* Peeling paint *Loose/Missing/Holes*
- Recommend a siding contractor or building contractor evaluate & advise on causes for melted siding, rule out or determine concealed damage and make repairs/replacement
- Siding was in contact or buried in soil in areas
- Proper clearance is recommended to avoid water damage & attracting wood destroying insects

Note- Concealed behind Siding : Siding cannot be removed during a home inspection; invasive. There is always a chance of concealed water and/or wood destroying insect damage behind gutters, siding, trim, rake boards and fascia. This cannot be determined during a visual non-invasive home inspection. Mold can also be concealed and not visible.

- Condition:** Satisfactory Marginal **Poor**
- Recommend evaluation of siding/trim/windows/doors and extent of damage or concealed damage and causes or reasons for melted/buckled siding (Rule out any electrical or fire hazards to err on side of caution).*

TRIM, SOFFIT, FASCIA, FLASHING

- Material:** Wood Vinyl Aluminum/Steel Fiber Cement Stucco
- Recommend repairs* *Damaged wood/fascia/soffits/roof decking* Other
- Note:** Often concealed water damage or rot can be concealed behind gutters on fascia or soffits. Monitor areas and address repairs as needed. Dirty gutters will spill over and cause damage often concealed, on fascia, trim, siding or interior; clean regularly.
- Condition:** Satisfactory Marginal **Poor**

CAULKING

Condition: Satisfactory Marginal Poor
 Recommend around windows/doors/masonry ledges/corners/utility penetrations as needed

WINDOWS & SCREENS

Failed/fogged insulated glass
Material: Wood Metal Vinyl Aluminum/Vinyl Clad
Screens: not inspected
Condition: Satisfactory Marginal Poor *Wood rot* *Recommend repair*

STORMS WINDOWS None or N/A Not installed Wood Clad comb. Wood/metal comb.

SLAB-ON-GRADE/FOUNDATION N/A (See Basement/Crawl Space)

GENERAL COMMENTS

CHIMNEY/GUTTERS/SIDING/TRIM: The gutters were old, dented, leaking, exposed fascia/rotted wood, bent, backed out spikes/nails, leave/twig filled/clogged/not draining, etc.; poor condition. Recommend replacing gutter along with roof. See roofing section comments. Do not install covers or screens; will reduce the water collection ability. Gutters should be larger (~6") uncovered, no screens and extend at least 6-8 ft. away from house. All underground drains should be cleaned and maintained for flow and drainage. Recommend removing trees and branches too close to the roof and house. Clean gutters often to ensure proper flow or distribution away from structure. Clogged, dirty or covered (gutters helmets, screens, etc.) will reduce the collection ability and spillage or water damage can occur to interior of home. Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. Recommend upsizing gutters to larger (~6") uncovered, no screens, etc. for better water collection and distribution of water away from house and foundation. See roofing section comments. Clogged gutters can cause leaking & damage to interior or where concealed in walls. Discuss auto sensed gutter heat elements for winter with a gutter company or building contractor to detect ice and melt frozen water in gutters in winter or cold months. Vegetation, grading surface drainage, rotted tree stumps among other forms of plant material is likely to adversely affect the home or dwelling adversely. Grounds are viewed during a home inspection from the perspective of how they may affect the home negatively. Homes can typical experience wet basements, crawl spaces and attract Wood destroying insect infestation as a result of negative grading, landscaping and soil too close to home and poor maintenance. Recommend chimney sweep clean/evaluate chimney. The chimney had cracks, water intrusion, efflorescence, rusted metal wire lathe (where broken or cracked below the cement) and tarred junctures; water intrusion. Recommend a chimney contractor and roofer evaluate chimney structure/cracks/water intrusion, roof & chimney flashings and advise on all repairs including concealed damage before closing & contractual limitations. *All chimneys will need repairs and or linings at some point(s) in their life. Proper maintenance and cleanings are extremely important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. The Internal elements of the chimney could not be evaluated and fall outside the scope of a visual home inspection. Internal defects and/or fire hazards often exist in any chimney of any age and especially in older structures. It is strongly advised that a Level II Internal chimney inspection be conducted in accordance with the National Fire Safety Standard (NFPA 211) prior to closing. Buyer accepts all risk, cost of repairs, possibility of dangerous conditions (fire, carbon monoxide, unstable structure, etc) if he or she fails to conduct this type of Level II chimney inspection.* The exterior outlet on right was on same circuit as the kitchen GFCI outlets; improper installation. Recommend a licensed electrician evaluate, separate and install properly. There was a through wall A/C unit improperly installed; gaps and open for water intrusion. Recommend a siding contractor evaluate & advise on proper installation and extent of all water & concealed damage. There was painted vinyl siding on left, right and rear side of home. The front was wood vertical siding or panels. The siding was in poor condition and unconventional installation (improper or handyman). There was siding with improper clearance to soil/ground, gaps/openings/separations/expansion spray foam, missing flashings/J-molding/capping/wrapping, exposed wood in rear to side of deck & corners, missing deck/house flashings, melted vinyl siding on left and right sides. There were foundation cracks, gaps and openings on foundation; mice or rodent droppings observed in the home and electrical panel. There were structural modifications & expansions made to the home; left side, rear addition, vaulted ceilings, enclosed doorway (by A/C living room) and basement deepened or lowered from a crawl space. Windows were in poor condition; extensive rot, missing flashings, exposed wood (not painted, no capping or flashings). The windows were *not opened* due to extensive rot and potential for them to not close back up if opened. There were structural defects in basement; girder/beam cracks, sagging/unsupported butt ends, moisture & wood destroying insect damaged beam (left side), etc. See structural comments; pg 2 main concerns and basement section. The homes exterior, structure & modifications should be evaluated by a building contractor and structural engineer (PE). The envelope of the home (roof, siding/exterior cladding, windows & doors) was in

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poor condition, water intrusion and damage observed. Rule out or determine extent of all concealed or hidden water, wood destroying insect damage, structural damage, etc. The rear basement door did not have a header and unconventional framing; improper installation. Recommend a siding & building contractor evaluate siding & trim/*heat damage & causes*/buckling/exterior, windows, doors, foundation and advise on all repairs including concealed or hidden damage before closing & contractual limitations.

CONCERNS:

1. The gutters were old, dented, leaking, exposed fascia/rotted wood, bent, backed out spikes/nails, leave/twig filled/clogged/not draining, etc.; poor condition. Recommend replacing gutter along with roof. See roofing section comments. Do not install covers or screens; will reduce the water collection ability. Gutters should be larger (~6") uncovered, no screens and extend at least 6-8 ft. away from house. All underground drains should be cleaned and maintained for flow and drainage. Recommend removing trees and branches too close to the roof and house.
2. There was a through wall A/C unit improperly installed; gaps and open for water intrusion. Recommend a siding contractor evaluate & advise on proper installation and extent of all water & concealed damage. There was painted vinyl siding on left, right and rear side of home. The front was wood vertical siding or panels. The siding was in poor condition and unconventional installation (improper or handyman). There was siding with improper clearance to soil/ground, gaps/openings/separations/expansion spray foam, missing flashings/J-molding/capping/wrapping, exposed wood in rear to side of deck & corners, missing deck/house flashings, melted vinyl siding on left and right sides. There were foundation cracks, gaps and openings on foundation; mice or rodent droppings observed in the home and electrical panel. There were structural modifications & expansions made to the home; left side, rear addition, vaulted ceilings, enclosed doorway (by A/C living room) and basement deepened or lowered from a crawl space. Windows were in poor condition; extensive rot, missing flashings, exposed wood (not painted, no capping or flashings). The windows were not opened due to extensive rot and potential for them to not close back up if opened. There were structural defects in basement; girder/beam cracks, sagging/unsupported butt ends, moisture & wood destroying insect damaged beam (left side), etc. See structural comments; pg 2 main concerns and basement section. The homes exterior, structure & modifications should be evaluated by a building contractor and structural engineer (PE). The envelope of the home (roof, siding/exterior cladding, windows & doors) was in poor condition, water intrusion and damage observed. Rule out or determine extent of all concealed or hidden water, wood destroying insect damage, structural damage, etc. The rear basement door did not have a header and unconventional framing; improper installation. Recommend a siding & building contractor evaluate siding & trim/*heat damage & causes*/buckling/exterior, windows, doors, foundation and advise on all repairs including concealed or hidden damage before closing & contractual limitations.
3. Recommend chimney sweep clean/evaluate chimney. The chimney had cracks, water intrusion, efflorescence, rusted metal wire lathe (where broken or cracked below the cement) and tarred junctures; water intrusion. Recommend a chimney contractor and roofer evaluate chimney structure/cracks/water intrusion, roof & chimney flashings and advise on all repairs including concealed damage before closing & contractual limitations.



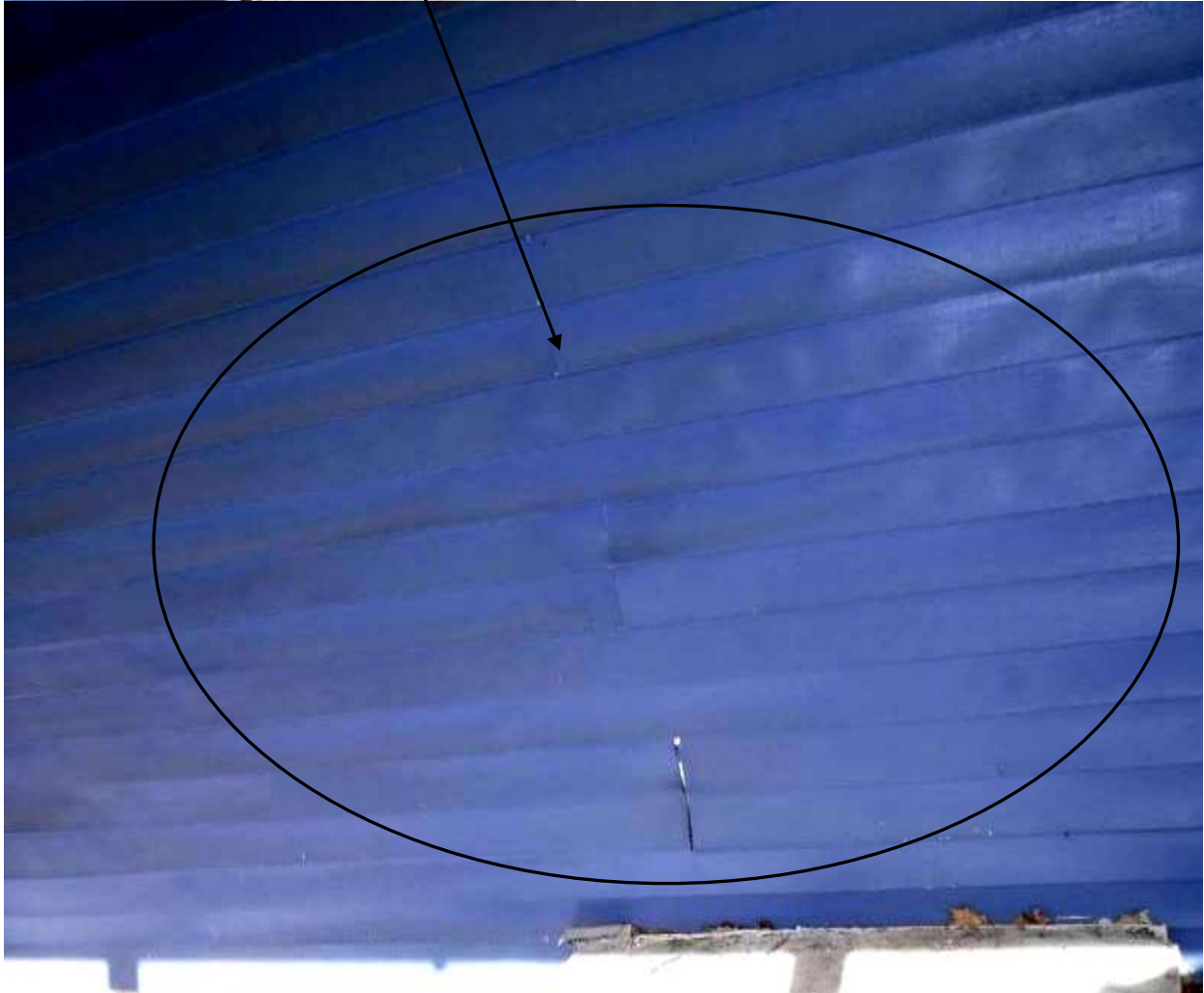








Figure 4 Slab from an enclosed door in living room. Siding had heat damage and wavy or buckled; further evaluate siding and causes before closing and contractual limitations.





KITCHEN

COUNTERTOPS

Satisfactory Marginal *Recommend repair/caulking*

CABINETS

Satisfactory Marginal *Recommend repair/adjustment*

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspector's responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS

Faucet Leaks: Yes No **Pipes leak/corroded:** Yes No
Sink/Faucet: Satisfactory Corroded Chipped Cracked *Recommend repair*
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor
Hot water: Yes No **Cold water:** Yes No

WALLS & CEILING

Condition: Satisfactory Marginal Poor cracks *Moisture stains*

HEATING / COOLING SOURCE

Yes No

FLOOR

Condition: Structural concerns/defects below in basement Poor Sloping Squeaks

DOORS & WINDOWS: Operational: Not opened Broken Vapor Seals : possible

APPLIANCES *

(See remarks page) Appliances are NOT GUARANTEED & only tested as found condition at time of inspection (Snap Shot); obtain a Home Warranty from Realtors office or private source to cover appliances. Always check under refrigerators and dishwashers, etc. for leaks, damage & mold before closing by licensed plumber & building contractor. Mold/environmental inspections are beyond the scope of a home inspection. Contents of home not manipulated and moved in a visual home inspection.

Disposal Operates: Yes No Oven/Range* Operates: Yes electric
 Dishwasher Operates: Yes No
Dishwasher Air gap: Yes No N/A **Dishwasher Drain Line Looped:** Yes No Not visible
Outlets Present: Yes No Operable: Yes No
G.F.C.I.: Yes No Operable: Yes Exterior outlet also on same circuit**
Open ground/Reverse polarity within 6' of water: Yes No *Potential safety hazard(s)*

NOTE: The Consumer Product Safety Commission, using estimates from 2006 through 2008, says that major appliances caused more than 150,000 residential fires each year, resulting in 3,670 injuries, 150 deaths, and \$547 million dollars in property damage. Go to (<http://www.consumerreports.org>) to see recent recalls.

*** Pursuant to 13:40-15.16 Standards of practice**

l) When inspecting the interior of a residential building, a home inspector shall:

1. Inspect:

v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer

GENERAL COMMENTS

KITCHEN : Recommend anti tip brackets on all stoves for safety.* There was a switch on front wall that are not apparently operating any devices. Further evaluate with the sellers and/or electrician. The exterior outlet was on same circuit as the kitchen counter; have evaluated and separated by an electrician.** There was sloping floors throughout the home; structural concerns/defects below in basement. See basement section and pg. 2 main concerns. There were structural modifications, expansions, vaulted ceilings, enclosed doors, added doors and changes made to the home. Follow up with the township for closed permits as required for all structural modifications made to the home before closing & contractual limitations. There were outlet multipliers; not safe/should remove for safety. The windows were not opened in the home due to extensive rot visible on the exterior. The skylights in the home were in poor condition and tarred at roof junctures. See window, roof and siding section comments.

CONCERNS:

1. Recommend a licensed electrician evaluate wall switch (unknown) and the GFCI outlet sin kitchen & exterior (should be separated).
2. There was sloping floors throughout the home; structural concerns/defects below in basement. See basement section and pg2 main concerns.
3. There were structural modifications, expansions, vaulted ceilings, enclosed doors, added doors and changes made to the home. Follow up with the township for closed permits as required for all structural modifications made to the home before closing & contractual limitations.
4. The windows were not opened in the home due to extensive rot visible on the exterior. The skylights in the home were in poor condition and tarred at roof junctures. See window, roof and siding section comments.



Figure 5 Example of sloped flooring and wedged base cabinet molding. See structural comments in basement and pg. 2 main concerns.

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LAUNDRY ROOM

ROOM COMPONENTS

Laundry sink: N/A **Faucet leaks:** Yes No **Pipes leak:** Yes No
Hot water: Yes No **Cold water:** Yes No
Cross connections: Yes No **Heat source present:** Yes No **Room vented:** Yes No
Dryer vented: N/A Wall Ceiling Floor Not vented
 Vent on exterior was very close to the ground or driveway- further evaluate by contractor
Electrical: Open ground/reverse polarity within 6' of water: Yes No *Safety hazard*
G.F.C.I. present: Yes No **Operates:** Yes No
Appliances: Washer Dryer not tested or inspected in a home inspection Water heater & boiler in basement
 Always check under washer & dryer for water damage and mold before closing; contents not manipulated or moved in a visual inspection.
 Note: Testing/inspecting washer and dryer is not part of New Jersey home inspection.
Washer hook-up lines/valves: Leaking Corroded Not visible
Gas Shut-off Valve: N/A Yes No Cap Needed Safety hazard Not visible
Electrical Set-up : N/A Yes No

GENERAL COMMENTS

LAUNDRY (BASEMENT) : There was a very large vent on right side very low to driveway; appears to be for the dryer. Dryer vents are typically smaller. Recommend having evaluated by a contractor and advise. Recommend cleaning dryer vent at least yearly for fire safety. Appliances are not tested or inspected in a home inspection. Follow up with the sellers for these appliances.

BATHROOMS

MAIN BATH:

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No
Loose: Yes No
Pipes leak: Yes No
Fixture(s) Condition: Satisfactory Marginal Poor
Hot water: Yes No
Cold water: Yes No

TOILET

Bowl Loose: Yes No
Operates: Yes No
 Toilet leaks
 Cracked bowl/tank
 Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic
 Fiberglass
 Masonite
 Other
Condition: Satisfactory Marginal Poor
 Rotted floors
Caulk/Grouting Needed: Yes No
Where: all junctures
Functional Drainage: Adequate Poor
Functional Flow: Adequate Poor
Whirlpool Operable: N/A Yes No
Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No
Outlets present: Yes No
G.F.C.I. present: Yes No
Operates: Yes No
Open ground/Reverse polarity within 6' of water: Yes No
Potential safety hazards present: Yes No

HEAT / COOLING SOURCE

Yes No
Window/Door: Yes No
 See window section comments- not opened in the home
Exhaust Fan: Yes No
Operates: Yes No
Noisy: Yes No

GENERAL COMMENTS

MAIN BATH : There was calcium buildup on the tub spigot and the diverter was stuck in the up position and gaps. Calcium/mineral build up was on fixtures and plumbing in the home; indicative of hard water. See plumbing comments. Half of the water was coming out of the tub spigot and some out of the shower head. The drain piping was improper; not pitched properly and flexible handyman connector; potential for back up. Recommend a licensed plumber evaluate spigot & gaps around the fixture and drain pipe installation under sink. The GFCI outlet was also on the same circuit as the lighting; have separated by an electrician. The baseboard was not attached to the wall properly; unsafe. Recommend an HVAC contractor or building contractor evaluate baseboard and advise on repairs/securing to wall. There were sloped floors in the home. See structural comments pg. 2 and basement.

CONCERNS:

1. Recommend an HVAC contractor or building contractor evaluate baseboard and advise on repairs/securing to wall.
2. There was calcium buildup on the tub spigot and the diverter was stuck in the up position and gaps. Calcium/mineral build up was on fixtures and plumbing in the home; indicative of hard water. See plumbing comments. Half of the water was coming out of the tub spigot and some out of the shower head. The drain piping was improper; not pitched properly and flexible handyman connector; potential for back up. Recommend a licensed plumber evaluate spigot & gaps around the fixture and drain pipe installation under sink.
3. There were sloped floors in the home. See structural comments pg. 2 and basement.



Figure 6 Example of loose baseboards in home; have an HVAC contractor evaluate/secure for safety.



Figure 7 Example of corrosion, improperly pitched drain piping, flexible connector, etc.; improper drain installation. Recommend a licensed plumber evaluate all corrosion, drain installations and advise on repairs/corrections.

LIVING/DINING ROOM

LOCATION: LEFT & REAR

Walls & Ceiling:	<input checked="" type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Where:
Floor:	<input checked="" type="checkbox"/> wall to wall carpet	<input checked="" type="checkbox"/> Structural concerns below in basement	<input checked="" type="checkbox"/> Poor	<input checked="" type="checkbox"/> Sloping <input checked="" type="checkbox"/> Squeaks
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing	<input type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Holes:	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings	
Bedroom Egress Restricted:	<input checked="" type="checkbox"/> N/A <input type="checkbox"/> Yes <input type="checkbox"/> No			
Doors & Windows:	Operational: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Broken Vapor Seals :	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> No	<input type="checkbox"/> Missing <input type="checkbox"/> Cracked Glass	

GENERAL COMMENTS

LIVING ROOM : There is a through wall A/C unit in this room; see cooling section comments. The fan did not have a remote or a wall switch that worked and a black electrical wire hanging out of ceiling mount. Recommend an electrician evaluate fan & advise on repairs; not functioning. There was an apparent door enclosed by the through wall A/C; visible slab outside and outline on wall. There was sloping floors throughout the home; structural concerns/defects below in basement. See basement section and pg2 main concerns. The railing around stairwell for basement should extend all the way across the steps and a railing added on steps for safety.

CONCERNS:

1. There was an apparent door enclosed by the through wall A/C; visible slab outside and outline on wall. Obtain closed permits for all structural modifications made to the home as required by the township before closing & contractual limitations.
2. There was sloping floors throughout the home; structural concerns/defects below in basement. See basement section and pg2 main concerns.
3. There is a through wall A/C unit in this room; see cooling section comments. The fan did not have a remote or a wall switch that worked and a black electrical wire hanging out of ceiling mount. Recommend an electrician evaluate fan & advise on repairs; not functioning.
4. The railing for basement should extend all the way across the steps for safety.

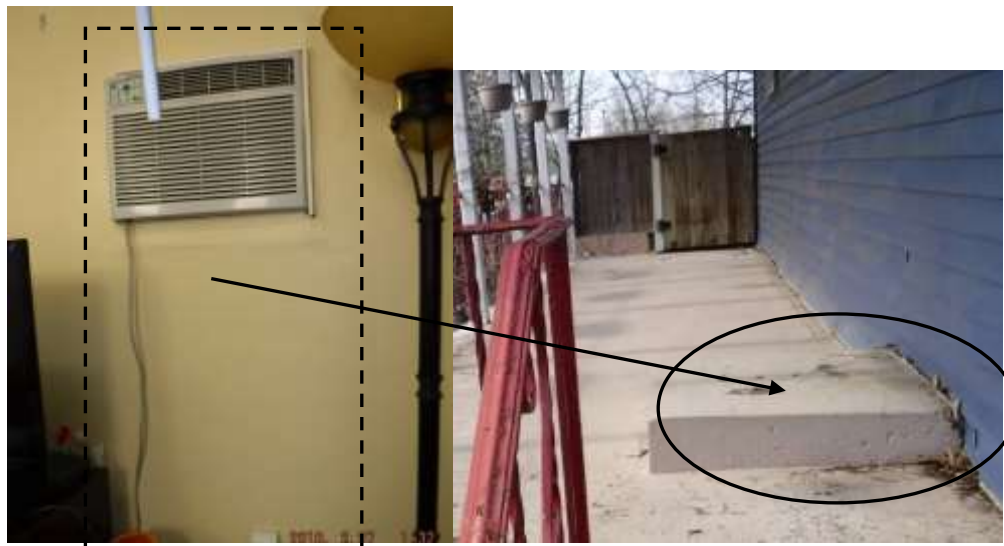




Figure 8 Railings should extend all the way across the steps and railing on steps for safety.

MASTER BEDROOM**LOCATION: CENTER**

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where:
Floor: wall to wall carpet Structural concerns/defects below in basement Poor Sloping Squeaks
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Not opened** Broken Vapor Seals : possible
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

MASTER BEDROOM : Windows in the home were not opened due to visible exterior rot on exterior; see window section comments.** There was sloping floors throughout the home; structural concerns/defects below in basement. See basement section and pg. 2 main concerns.

CONCERNS:

1. There was sloping floors throughout the home; structural concerns/defects below in basement. See basement section and pg. 2 main concerns.
2. See window section comments; not opened due to extensive rot visible on exterior.

#2 BEDROOM**LOCATION:**

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where:
Floor: wall to wall carpet Structural concerns/defects below in basement Poor Sloping Squeaks
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Not opened** Broken Vapor Seals : possible
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#2 BEDROOM : Windows were not opened due to visible exterior rot on outside.** The rear door was in poor condition; uneven gaps around frame/canted and worn weather seals. See window & door comments. There was sloping floors throughout the home; structural concerns/defects below in basement. See basement section and pg. 2 main concerns.

CONCERNS:

1. There was sloping floors throughout the home; structural concerns/defects below in basement. See basement section and pg. 2 main concerns.
2. See window section comments; not opened due to extensive rot visible on exterior. The rear door was in poor condition; uneven gaps around frame/canted and worn weather seals. See window & door comments.

WINDOWS/FIREPLACES/HALL/ATTIC**INTERIOR WINDOWS / GLASS**

- Condition:** Not opened in the home due to rot visible on exterior **Poor**
 Canted doors, worn weather seals Enclosed door in living room by through wall A/C
 Representative number of windows operated Ask if windows under warranty
Evidence of Broken Vapor seals : possible/hazy/cloudy **Safety Glazing Needed:** Yes No
 Glazing compound needed Cracked glass Hardware missing **Broken counter-balance mechanism**
Security Bars Present: N/A Yes No Not tested **Safety hazard** **Test release mechanism before moving in**

- FIREPLACE** None Location(s): ---
STAIRS / STEPS / BALCONIES Satisfactory Marginal Poor None
SMOKE / CARBON MONOXIDE DETECTORS (See remarks page)

- Present:** Smoke Detector: Yes No **Operates:** Yes No Not tested
CO Detector: Yes No **Operates:** Yes No Not tested

Security systems, fire suppression and the like are not part of a home inspection (see contract). Follow up with the provider for these features in home to have them inspected or evaluated.

Not tested; Should be performed by Local/State municipality prior to Occupancy.

ATTIC/STRUCTURE/FRAMING/INSULATION N/A

- Access:** Stairs Pull down Scuttle hole/Hatch No access Other
Inspected From: Access panel only In the attic Other
Location: Bedroom hall Bedroom closet Garage Other
Access Limited By: no flooring and small opening in living room, insulation, wiring
Flooring: Complete Partial None
Insulation: Type: fiberglass Batts Loose Average inches: 2-4 Approx. R-rating: Unknown
 Damaged Displaced Missing Compressed Baffles @ Eaves
Installed In: Rafters Walls- rear Between ceiling joists Not visible
 Recommend more ventilation

Note: Insulations in older homes may be very little or non-existent in walls, ceilings, crawl or basement; not visible where finished or inaccessible. It is always recommended to conduct an energy audit with a contractor that provides that service.

- Ventilation:** Yes **Poor ventilation** **Recommend additional ventilation**
 Maximum ventilation is always recommended to avoid shortening life of roof, avoids hot humid conditions conducive to mold growth, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage, etc. Discuss ventilation & insulation with a qualified contractor.

- Fans Exhausted To:** N/A Attic: Yes No Outside: Yes No Not visible
HVAC Duct: N/A Damaged Split Disconnected Leaking Repair/Replace
Chimney Chase: N/A Satisfactory Needs repair Not visible
Structural Problems Observed: Yes No Recommend repair Recommend Structural Engineer
Roof Structure: Rafters Pine sap beads Wood Metal Other
Collar Ties Present: Yes No N/A
Roof Sheathing: Plywood- rear section of house 1x4 wood planks/tongue & groove Stained/dark rings
 Hot humid attics will shorten life of roof & potential for structure damage

Evidence of Condensation/Moisture Leaking: Yes Not visible from ladder (See remarks page) Possible Mold whenever there are leaks in home; testing and identification of mold and environmental hazards is NOT part of home inspection. Follow-up with an environmental testing contractor before closing for that type of inspection.

- Ceiling Joists:** Wood Metal Other Not visible
Vapor Barriers: Kraft/foil faced Plastic Not visible Improperly installed
Firewall Between Units: N/A Yes No Needs repair/sealing (See remarks page)
Indication of Past fire damage Yes No Recommend checking with Local fire Marshall and Township
Electrical: Open junction box(es) Handyman wiring Visible knob-and-tube **Loose wires/live wires**

GENERAL COMMENTS

WINDOWS/FIREPLACES/HALL/ATTIC: The windows were not opened due to extensive rot observed on them from the exterior. The basement was altered or modified from a crawl space and windows were made from wood and glass panels covering crawl space vents (not functioning windows or frames). The rear door off bedroom was canted and worn weather seals. Recommend a window & door installer or building contractor evaluate windows and doors in the home for repairs & replacements before closing & contractual limitations. The chimney had cracks, water intrusion, efflorescence, rusted metal wire lathe (where broken or cracked below the cement) and tarred junctures; water intrusion. Recommend a chimney contractor and roofer evaluate chimney structure/cracks/water intrusion, roof & chimney flashings and advise on all repairs including concealed damage before closing & contractual limitations. *All chimneys will need repairs and or linings at some point(s) in their life. Proper maintenance and cleanings are extremely important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownership to avoid costly repairs and ensure life safety.* There was poor ventilation; see roofing section comments. There was pine sap beads on rafters/roof lumber and dark rings around roofing nails; indicative of hot humid attics. Ventilation appears inadequate. Hot humid attics will typically shorten life of roof, can potentially cause heat damage (splits, delamination, etc.) and conducive to mold/mildew. Recommend a ventilation & insulation contractor evaluate and advise on ventilation. Roofs should have maximum ventilation to avoid shortening life of roof, potential roof structure/heat damage and moisture build-up. There were loose wires or cables in the attic; view from ladder in bedroom closet scuttle. Recommend a licensed electrician evaluate wiring and advise on cleanup up/repairs for safety. There were missing fire/CO detectors in the home. Recommend having installed and tested by the township; not part of home inspection. Security systems, fire suppression and the like are not part of a home inspection (see contract). Follow up with the provider for these features in home to have them inspected or evaluated.

CONCERNS:

1. The windows were not opened due to extensive rot observed on them from the exterior. The basement was altered or modified from a crawl space and windows were made from wood and glass panels covering crawl space vents (not functioning windows or frames). The rear door off bedroom was canted and worn weather seals. Recommend a window & door installer or building contractor evaluate windows and doors in the home for repairs & replacements before closing & contractual limitations.
2. There were missing fire/CO detectors in the home. Recommend having installed and tested by the township; not part of home inspection. Security systems, fire suppression and the like are not part of a home inspection (see contract). Follow up with the provider for these features in home to have them inspected or evaluated.
3. The chimney had cracks, water intrusion, efflorescence, rusted metal wire lathe (where broken or cracked below the cement) and tarred junctures; water intrusion. Recommend a chimney contractor and roofer evaluate chimney structure/cracks/water intrusion, roof & chimney flashings and advise on all repairs including concealed damage before closing & contractual limitations. *All chimneys will need repairs and or linings at some point(s) in their life. Proper maintenance and cleanings are extremely important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownership to avoid costly repairs and ensure life safety.*
4. There was poor ventilation; see roofing section comments. There was pine sap beads on rafters/roof lumber and dark rings around roofing nails; indicative of hot humid attics. Ventilation appears inadequate. Hot humid attics will typically shorten life of roof, can potentially cause heat damage (splits, delamination, etc.) and conducive to mold/mildew. Recommend a ventilation & insulation contractor evaluate and advise on ventilation. Roofs should have maximum ventilation to avoid shortening life of roof, potential roof structure/heat damage and moisture build-up
5. There were loose wires or cables in the attic; view from ladder in bedroom closet scuttle. Recommend a licensed electrician evaluate wiring and advise on cleanup up/repairs for safety.

FINISHED BASEMENT

STAIRS N/A

- Condition:** Satisfactory Marginal End or stringers sitting on two joists- unconventional
 Have evaluated for replacement- unsafe, damaged, etc.
- Handrail:** Yes No- add railing for safety **Condition:** Satisfactory Loose/have secured
- Headway Over Stairs:** Satisfactory Low clearance Safety hazard

FOUNDATION

- Condition:** Satisfactory Marginal Poor- cracks
 *Finished Basement- inaccessible/concealed structure**
 *Have evaluated by structural professional to rule out any hidden damage before closing & contractual limitations**
 Obtain closed permits for finished basement as required by township/Boro/city.
 Finished basements should be properly heated/ventilated/cooled/humidity controlled to avoid mold like conditions, moisture & wood destroying insect damage, etc.

Material:

- Brick Concrete block Poured concrete- deepened basement/structural modifications
 Not visible where finished or concealed
 Cinderblock Notes - cinderblock was used a long time ago and has a tendency to leak/retain water (porous) and crack more easily than today's concrete or masonry block
 Foundation inaccessible/structure inaccessible/ not readily accessible where finished

Horizontal Cracks:

- Yes not ascertainable/not visible/inaccessible*- where finished/covered

Step Cracks:

- Yes not ascertainable/not visible/inaccessible*- where finished/covered

Vertical Cracks:

- Yes not ascertainable/not visible/inaccessible*- where finished/covered

Covered Walls*:

- Yes-**concealed structure*** Ceilings, flooring/carpeting/walls*
 *Concealed areas, cluttered areas, storage/perimeter/floor, etc. are inaccessible and cannot be viewed & not readily accessible. Have the structural foundation contractor, Structure Engineer, etc. rule out any concealed cracks or structural damage before closing & contractual limitations.

Movement Apparent:

- not ascertainable- finished basement, storage, clutter, inaccessible, etc.

Indication of Moisture:

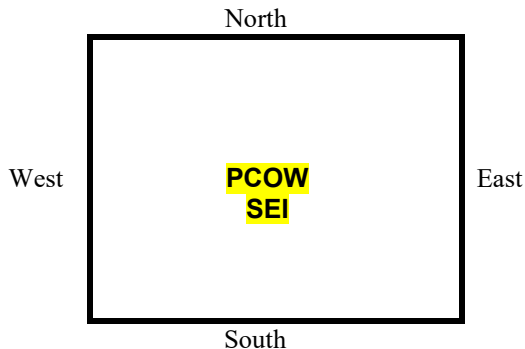
- Yes Fresh Old stains Efflorescence, water stains, seepage, wet conditions
 Recommend a Wet basement/crawl contractor/damp proofer evaluate for water management system(s) and advise to maintain dry conditions & structural integrity
 Exterior poor/negative grading & drainage- have corrected by grading & drainage contractor
 Gutters/roof drainage poor- have gutters evaluated/repaired/replace/extend 6-8ft.
 Exterior was conducive to seepage/wet conditions and potential structural damage

Condition reported above reflects visible readily accessible portion only at time of inspection- further evaluate all inaccessible areas to rule out hidden structural damage before closing & contractual limitations.

BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:

- | | |
|---|---|
| P = Painted foundation (utility room) | C = Crack(s) |
| O = Other/wood panel/insulation stuffed in sills | W = Wet, moisture, seepage, staining |
| D = Drywall | E = Evaluate |
| S = Storage | |
| I = Inaccessible structure-evaluate before closing & contractual limitation to rule out any concealed structural damage. | |



FLOOR

Material: Concrete Carpeting- wall to wall – finished section
 Flooring/slab & structure inaccessible due to coverings
 Basement had finished section, painted foundation, carpeting, storage- limited view & inaccessible structure

Condition: Satisfactory Marginal Poor Cracks

Insulation Comments: All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

SEISMIC BOLTS N/A

BASEMENT DRAINAGE

Indication of moisture: Yes Fresh Old stains Efflorescence, water stains, dark stains, seepage, etc.

Environmental Hazards: Mold, etc. are **Not part** of a NJ Home Inspection (See Standards of Practice & Pre-Inspection Agreement)

Mold & environmental inspection & testing are beyond the scope of a home inspection. Follow-up with an environmental inspection & testing company.

Basements are not intended for legal bedrooms or living spaces unless deemed by Local Township, which requires Egress compliant windows among other requirements. Have township code official evaluate any basements for purpose other than mechanicals, electrical and utilities or laundry. Living in a basement may affect overall health and breathing.

Sump Pump: Yes No **Tested:** Yes No Working Not working Needs cleaning

Not required to test in a home inspection *Add a cover on sump for safety*

Sump pit only- add pump

Add dedicated outlet for safety *Have plumber pipe sump to outside; should not be piped to municipality sewer (not legal in most NJ municipalities)*

Floor Drains: Yes No Not visible Efflorescence present Recommend dehumidifier

There were water stains on walls, floor, paneling, etc. in basement- seepage or wet conditions

Note: Under certain unforeseen weather conditions, future moisture and water infiltration can occur even if a basement has never had moisture in the past. Observing proper grading, drainage, working gutter systems and sump pumps is imperative in helping keep a basement dry. It is strongly recommended to install a Water Management System if not already present to avoid wet or flooded basements as well as mold and structural damage.

GIRDERS / BEAMS / COLUMNS

Material: Steel U-bracket & concrete beams – rear & left basements where additions or structural modifications made to the home
 Wood- moisture & wood destroying insect damaged, cracks, etc.- Poor
 Not visible- where finished basement

Condition: Satisfactory- metal & concrete & steel columns

Poor- Wood triple beam on left side had moisture & wood destroying insect damage

Poor- Wood triple beam in right had cracks, unsupported beam but ends, sagging (up & down)

Sloped flooring throughout the home

Surface rust on columns Structure inaccessible where finished basement

Temporary screw jack/adjustable- improper/should be permanent columns

Improperly repairs on right side (added lally column & improperly sistered joist)

Improperly framed/cut door to rear yard- no header and improper framing

Improper/unconventional staircase supports at base (2 cut floor joists under stringer ends)

Structural modifications made to the home

JOISTS

Material: Wood Steel Truss Not visible Structure inaccessible where finished
 Engineered I-Type Sagging/altered joists

Condition: Satisfactory Marginal Poor

- (IF CHECKED) Wood destroying insect evidence was present: Sections of insulation/walls or ceilings must be removed to determine extent damage as per structural carpenter's evaluation. Hidden damage possible. Recommend structural engineer/licensed contractor evaluate and licensed treatment company exterminate prior to closing.

SUB FLOOR

- Indication of moisture stains/rotting ** Areas around shower stalls, etc., as viewed from basement or crawl space. Have a structural carpenter/building contractor evaluate extent of water damage and repair

GENERAL COMMENTS

FINISHED BASEMENT : The railing around stairwell for basement should extend all the way across the steps and a railing added on steps for safety. The foundation walls were inaccessible due to finished section of basement. The utility room or mechanical area had painted foundation walls and cracks; limited view. The siding was low to ground on exterior; limited view of foundation from exterior. There were structural changes, additions and modifications made to the home after time of build. There were changes made to a side door (enclosed in living room) and vaulted ceilings on the main level. Recommend obtaining closed township permits for all structural modifications and changes made to the home as required by the township before closing & contractual limitations. The basement was structurally modified and floor lowered or a prior crawl space. The basement steps had floor joist pieces placed under ends of stringers for staircase; unconventional. A left foundation wall added or expanded under th side porch, doors added from front section of basement to rear and a rear door to outside. There were steel lally columns and U-brackets/concrete beams in rear and left sides. The rear basement door did not have a header, unconventional framing or improper installation. There was a door flap for a pet access; potential entry point for other animals, water/wind/weather elements, energy loss, etc. There was water/moisture and wood destroying insect (WDI) damage on a triple beam and wood paneling below the beam on left side of the home. See separate NPMA-33 Wood destroying insect report. Recommend a licensed Pest Company treat for carpenter ant and further evaluate any other WDI infestation when repairs made. The built up beam on right side of basement had cracks/splits, unsupported butt ends and sagging along the beam. There was a temporary screw jack on front wall and a steel column & improper floor joist sistering on right front section of basement. The flooring was sloped throughout the home and canted doorways. There were foundation cracks, gaps and openings on foundation; limited view. There were structural defects/deficiencies in the home. Recommend a structural carpenter and/or building contractor and structural engineer (PE) evaluate structure, structural modifications, extent of structural, water & insect damage and advise on all repairs before closing and contractual limitations. There was negative grading & poor drainage on exterior as well as improperly functioning gutters. There was observed efflorescence, water stains, wet/damaged wood paneling and beam on left side of basement. The basement had observed wet conditions or signs of seepage. Recommend a grading & drainage contractor and wet basement contractor evaluate the home/property and advise on grading & drainage, erosion control measures and water management system(s) to maintain a dry structure and maintain retaining walls to protect the structures. Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice. Finished basements should be properly heated/ventilated/cooled/humidity controlled to avoid mold like conditions, moisture & wood destroying insect damage, etc. There was an old ventless gas wall space heater in the finished section of basement. The gas valve was found in the "off" position and not lighted or tested. These ventless space heater can be dangerous and must be evaluated by a qualified HVAC contractor if intending to use it for fire/life safety. Ventless space heater must have safety shut off and use with makeup air according to the manufacturer; further evaluate with manufacturer. There were loose electrical boxes/wires, missing covers, handyman/improper wiring in the home or basement. See electrical section comments.

CONCERNS:

1. The foundation walls were inaccessible due to finished section of basement. The utility room or mechanical area had painted foundation walls and cracks; limited view. The siding was low to ground on exterior; limited view of foundation from exterior. There were structural changes, additions and modifications made to the home after time of build. There were changes made to a side door (enclosed in living room) and vaulted ceilings on the main level. Recommend obtaining closed township permits for all structural modifications and changes made to the home as required by the township before closing & contractual limitations. The basement was structurally modified and floor lowered or a prior crawl space. The basement steps had floor joist pieces placed under ends of stringers for staircase; unconventional. A left foundation wall added or expanded under th side porch, doors added from front section of basement to rear and a rear door to outside. There were steel lally columns and U-brackets/concrete beams in rear and left sides. The rear basement door did not have a header, unconventional framing or improper installation. There was a door flap for a pet access; potential entry point for other animals, water/wind/weather elements, energy loss, etc. There was water/moisture and wood destroying insect (WDI) damage on a triple beam and wood paneling below the beam on left side of the home. See separate NPMA-33 Wood destroying insect report. Recommend a licensed Pest Company treat for carpenter ant and further evaluate any other WDI

infestation when repairs made. The built up beam on right side of basement had cracks/splits, unsupported butt ends and sagging along the beam. There was a temporary screw jack on front wall and a steel column & improper floor joist sistering on right front section of basement. The flooring was sloped throughout the home and canted doorways. There were foundation cracks, gaps and openings on foundation; limited view. There were structural defects/deficiencies in the home. Recommend a structural carpenter and/or building contractor and structural engineer (PE) evaluate structure, structural modifications, extent of structural, water & insect damage and advise on all repairs before closing and contractual limitations.

2. There was negative grading & poor drainage on exterior as well as improperly functioning gutters. There was observed efflorescence, water stains, wet/damaged wood paneling and beam on left side of basement. The basement had observed wet conditions or signs of seepage. Recommend a grading & drainage contractor and wet basement contractor evaluate the home/property and advise on grading & drainage, erosion control measures and water management system(s) to maintain a dry structure and maintain retaining walls to protect the structures.
3. There was an old ventless gas wall space heater in the finished section of basement. The gas valve was found in the "off" position and not lighted or tested. These ventless space heater can be dangerous and must be evaluated by a qualified HVAC contractor if intending to use it for fire/life safety. Ventless space heater must have safety shut off and use with makeup air according to the manufacturer; further evaluate with manufacturer. See heating section comments.
4. Finished basements should be properly heated/ventilated/cooled/humidity controlled to avoid mold like conditions, moisture & wood destroying insect damage, etc.
5. The railing around stairwell for basement should extend all the way across the steps and a railing added on steps for safety.
6. There were loose electrical boxes/wires, missing covers, handyman/improper wiring in the home or basement. See electrical section comments.



Figure 9 Abandoned piping or drains in basement; rule out an abandoned septic on property before closing. Example of foundation cracks and deepened basement or modified crawl space.

Examples:

Cracks, wet/seepage/dark stains/efflorescence, structural defects/deficiencies/modifications, etc.

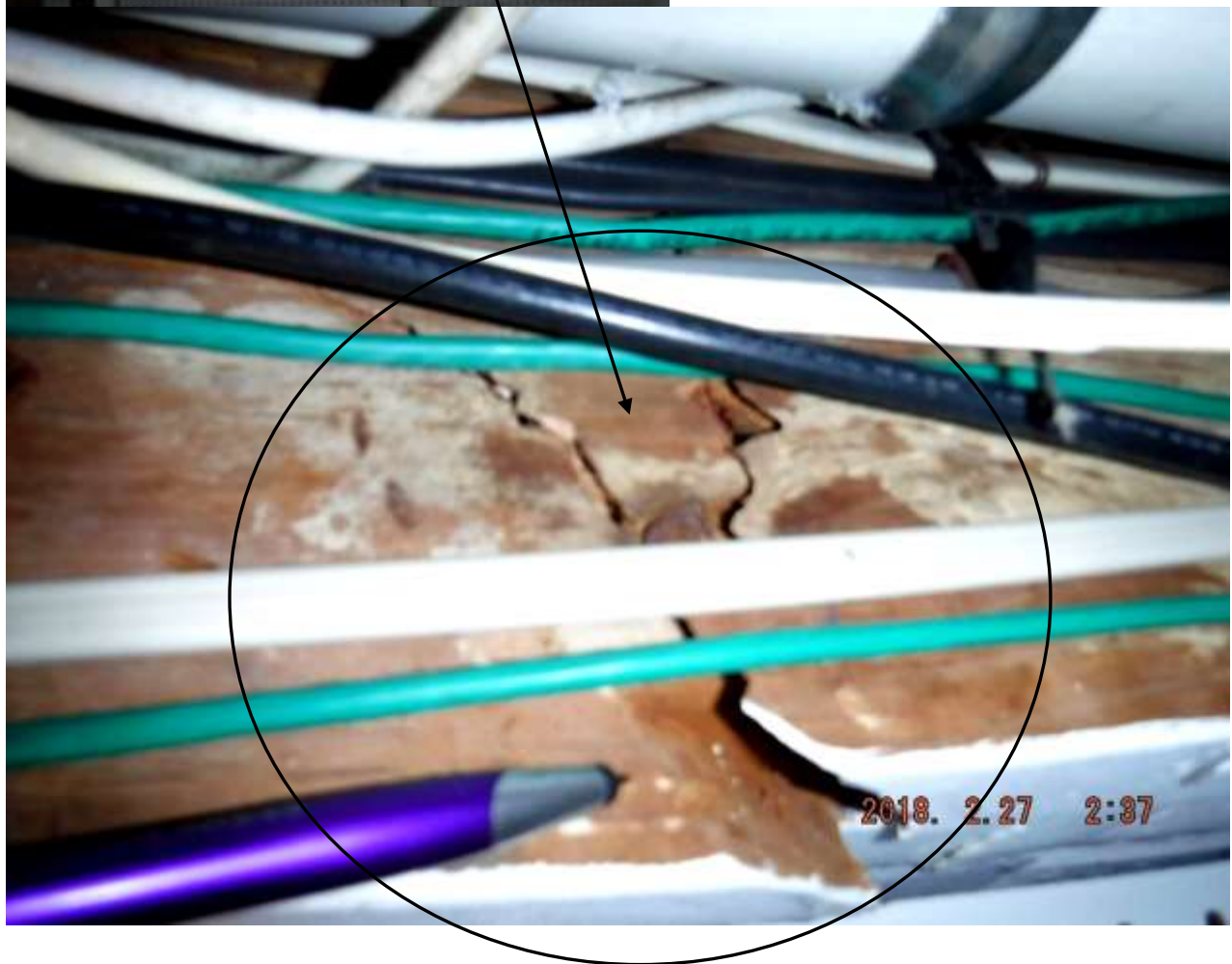
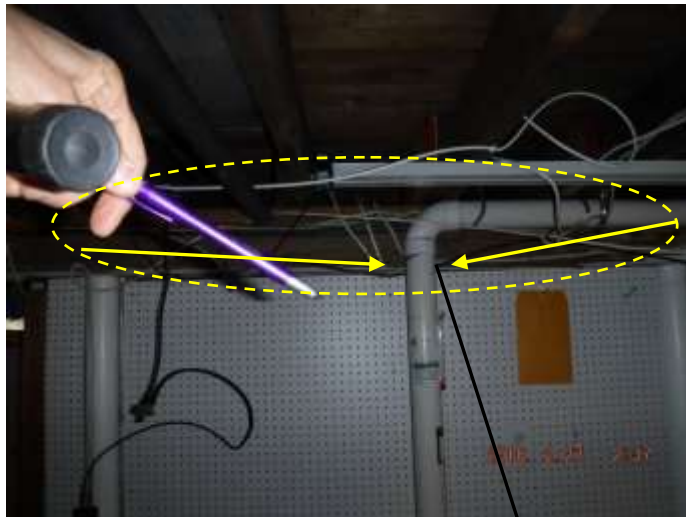




Figure 10 Broken/cracked built up beam on right basement; sloped flooring throughout the home.







Figure 11 Example of damaged beam, rot and spray foam along the structure.



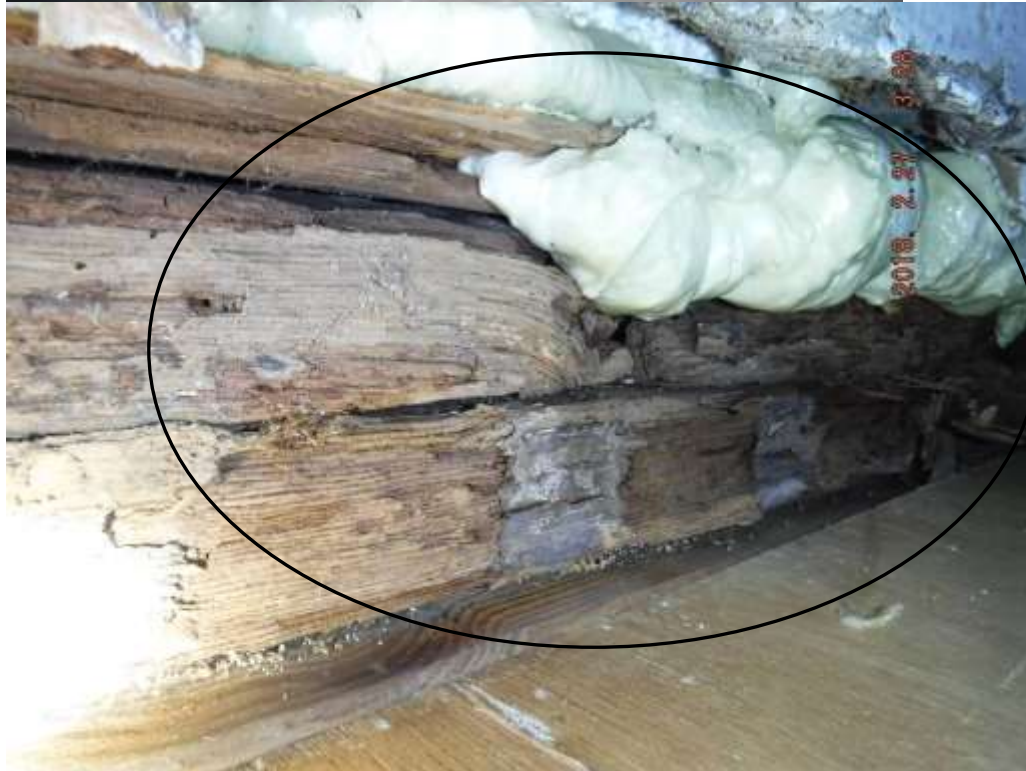




Figure 12 Moisture & carpenter ant damage to a beam on left side, mice droppings and carpenter ant frass.



Figure 13 Water & dark staining, wood damage on wall under a damaged beam in basement.





PLUMBING

WATER SERVICE

Main Shut-off Location: [by well equipment](#)

All home will have plumbing repairs/upgrades at some point- monitor plumbing

Water Entry Piping: Not visible Copper/Galv. **Plastic*** (PVC, CPVC, Polybutylene, PEX) Unknown

Visible Water Distribution Piping: Copper Galvanized possible in older homes

Plastic* (PVC, CPVC, Polybutylene, PEX) Unknown

Condition: Satisfactory Marginal Poor

Lead Other Than Solder Joints: Yes No Unknown Service entry

Functional Flow: Adequate Low Poor **Water pressure over 80 psi; high**

Pipes, Supply/Drain: **Corroded** **Leak potential** **Valves broken/missing** **Dissimilar metal**

Drain/Waste/Vent Pipe: Copper Cast iron Galvanized PVC ABS

Condition: Satisfactory Marginal Poor **Cross connection:** Yes No

Support/Insulation: Type: --

Traps Proper P-Type: N/A Yes No; some S-type or other **P-traps recommended**

Functional Drainage: Adequate Poor **Recommend plumber evaluate plumbing concerns in home**

Interior Fuel Storage System: Yes No Leaking: Yes Oil stains on tank- have evaluated

Gas Line: Copper Brass Black iron Stainless steel Flexible CSST (yellow) N/A

Condition: Satisfactory Marginal Poor

NOTE: T-Valves, ball valves, gate valves or any shut off valves, are not tested in a New Jersey home inspection.

MAIN FUEL SHUT-OFF LOCATION FIXTURES IN HOME

Oil tank in basement N/A

All plumbing and upgrades must be installed by licensed plumber and with permits when renovated.

Note: Fixtures in home are not inspected for product brand, quality, manufacturer, expected life or predicted failure.

Fixtures are tested for adequate flow, adequate drainage and any noted leaks or corrosion at time of inspection. If brand and life service is a concern, obtain information and warranty from sellers before closing.

WELL PUMP N/A Submersible

Storage tank Location: In basement Well house Well pit Shared well

Pressure Gauge Operates: Yes No Unknown Well pressure: **40** psi Not visible

Well system and water testing not part of NJ home inspection. Well inspection and water testing should be conducted prior to closing.

SANITARY / GRINDER PUMP

N/A

WATER HEATER #1 N/A

Condition: Satisfactory Marginal Poor

Brand name: [Rheem](#)

Type: Gas Electric Oil Other

Unit Elevated: Yes No N/A **Tank/Piping corroded/leaking**

Capacity: [50](#) gallons Approximate age: (4 yrs.) [Dec 23, 2014 mfg. date on data tag](#)

Combustion Air Venting Present: Yes No N/A Seismic restraints needed: Yes No N/A

Relief Valve: Yes No **Extension proper:** No Missing **Recommend repair**

Vent Pipe: **N/A- electric** Satisfactory Pitch proper **Improper** **Rusted** **Recommend repair**

WATER SOFTENER

(Unit not evaluated) recommended when hard water in home

Loop Installed: Yes No **Plumbing Hooked Up:** Yes No

Softener Present: Yes No **Plumbing Leaking:** Yes No

NOTE: Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home.

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

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Plumbing code or any other code inspection in NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection.

GENERAL COMMENTS

PLUMBING: The water heater and boiler did not have extension pipes off the TPR valves. The drain under the bathroom sink was not plumbed properly ; not pitched toward the rear drain, flexible connector (tend to collect hair). There was a propane tank on right or driveway side; unknown use. The stove was electric, the water heater was electric and the boiler was oil. Further evaluate propane tank status. If not in use, recommend removing. The tank should be strapped or secured to the home and a bollard for safety if staying and intended use. There was calcium buildup on the tub spigot and the diverter was stuck in the up position and gaps. Calcium/mineral build up was on fixtures and plumbing in the home; indicative of hard water. See plumbing comments. Half of the water was coming out of the tub spigot and some out of the shower head. The drain piping was improper; not pitched properly and flexible handyman connector; potential for back up. There was corrosion on copper piping, fittings and valves under the bathroom sink. Recommend a licensed plumber evaluate fixtures, corrosion, drain pipe installation (bathroom), abandoned drain pipes (basement), calcium/mineral build-up, stuck diverter (bathtub), etc. and advise on repairs. There was indication that there may be a past septic on property; cut off or terminated waste piping in basement on rear wall. Further evaluate with the township or health department for follow-up to see if a septic system was removed on property. Septic systems if existing and not properly terminated can pose a potential sink holes or safety hazard. There was a water softener or treatment system in basement; follow up with the service provider for inspection and service/maintenance related to the installed system (not part of home inspection). Note that fixtures, drains and pipes may clog, leak or back-up when a home in left vacant for a period of time and if there is hard water in home. Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home. Plumbing code or any other code inspection in NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection. All homes will need plumbing repairs (leaks, clogs, corrosion, upgrades, repairs, etc.) at any time in the life of the home. Plan and budget for these repairs and upgrades. Only a licensed plumber should make these repairs. There were oil stains on oil tank in basement; have evaluated to rule out any leaking or seepage.

CONCERNS:

1. **The water heater and boiler did not have extension pipes off the TPR valves. The drain under the bathroom sink was not plumbed properly ; not pitched toward the rear drain, flexible connector (tend to collect hair). There was a propane tank on right or driveway side; unknown use. The stove was electric, the water heater was electric and the boiler was oil. Further evaluate propane tank status. If not in use, recommend removing. The tank should be strapped or secured to the home and a bollard for safety if staying and intended use. There was calcium buildup on the tub spigot and the diverter was stuck in the up position and gaps. Calcium/mineral build up was on fixtures and plumbing in the home; indicative of hard water. See plumbing comments. Half of the water was coming out of the tub spigot and some out of the shower head. The drain piping was improper; not pitched properly and flexible handyman connector; potential for back up. There was corrosion on copper piping, fittings and valves under the bathroom sink. Recommend a licensed plumber evaluate fixtures, corrosion, drain pipe installation (bathroom), abandoned drain pipes (basement), calcium/mineral build-up, stuck diverter (bathtub), etc. and advise on repairs.**
2. **There was indication that there may be a past septic on property; cut off or terminated waste piping in basement on rear wall. Further evaluate with the township or health department for follow-up to see if a septic system was removed on property. Septic systems if existing and not properly terminated can pose a potential sink holes or safety hazard.**
3. **There was a water softener or treatment system in basement; follow up with the service provider for inspection and service/maintenance related to the installed system (not part of home inspection).**
4. **There were oil stains on oil tank in basement; have evaluated to rule out any leaking or seepage.**



Figure 14 Further evaluate abandoned drains or piping in basement to rule out an abandoned septic on property.

HEATING**HEATING SYSTEM - UNIT #1** Location: **basement- utility room***(See remarks page)***BOILER SYSTEM** N/A**Brand Name:** **Crown boiler**Approximate age: **old/past expected life (~39+ yrs.)****Carbon Monoxide:** N/A Detected at Plenum/Register Not tested**CO Test:** Yes No**Combustion Air Venting Present:** Yes No N/A**Energy Source:** Gas LP Oil Electric**Distribution:** Hot water Baseboard Steam Radiator**Circulator:** Pump Gravity Multiple zones**Controls:** Temp/pressure gauge exist: Yes- frosted over/not able to read gauge**Operating:** Yes Not able to read gauge**Oil Fired Units:** Disconnect: Yes No**Combustion Air Venting Present:** Yes No N/A**Relief valve:** Yes No MissingExtension proper: Yes No**Operated:****When turned on by thermostat:** Fired Did not fire**Operation:** Satisfactory: Yes No

Recommend HVAC technician examine yearly, obtain township code inspections for Fire and HVAC sub codes prior to closing. The inspection is not required to determine heat supply adequacy or distribution balance for the home or building. Have an HVAC contractor or boiler contractor evaluate the adequacy and required size needed before closing.

Recommend evaluating boiler before closing by qualified HVAC or boiler contractor

OTHER SYSTEMS N/A Electric baseboard **Space heater- finished basement** Gas space heater Wood burning stove *(See Remarks page)***Proper Operation:** Yes Not tested or lighted- gas valve in "off" position**System Condition:** Satisfactory Marginal Safety concerns- ventless type**GENERAL COMMENTS**

HEATING: The boiler was very old (~39+yrs.), corrosion (piping, fittings, valves, etc.), no pipe extension off TPR valve, cloudy pressure gauge (not visible), AL foil covering sight glass, class I duct tape on vent connection (improper use), etc. The boiler was in poor condition and past expected life. The bathroom baseboard was not attached to the wall properly; unsafe. Recommend a boiler contractor evaluate boiler, advise on replacement and securing loose baseboards in the home. There was an old ventless gas wall space heater in the finished section of basement. The gas valve was found in the "off" position and not lighted or tested. These ventless space heater can be dangerous and must be evaluated by a qualified HVAC contractor if intending to use it for fire/life safety. Ventless space heater must have safety shut off and use with makeup air according to the manufacturer; further evaluate with manufacturer. Recommend a property tank sweep to rule out any possibility of buried oil tank before closing and contractual limitations. There were oil stains on oil tank in basement; have evaluated by oil company to rule out any leaking or seepage.

CONCERNS:

1. The boiler was very old (~39+yrs.), corrosion (piping, fittings, valves, etc.), no pipe extension off TPR valve, cloudy pressure gauge (not visible), AL foil covering sight glass, class I duct tape on vent connection (improper use), etc. The boiler was in poor condition and past expected life. The bathroom baseboard was not attached to the wall properly; unsafe. Recommend a boiler contractor evaluate boiler, advise on replacement and securing loose baseboards in the home. There was an old ventless gas wall space heater in the finished section of basement. The gas valve was found in the "off" position and not lighted or tested. These ventless space heater can be dangerous and must be evaluated by a qualified HVAC contractor if intending to use it for fire/life safety. Ventless space heater must have safety shut off and use with makeup air according to the manufacturer; further evaluate with manufacturer.
2. Recommend a property tank sweep to rule out any possibility of buried oil tank before closing and contractual limitations.
3. There were oil stains on oil tank in basement; have evaluated by oil company to rule out any leaking or seepage.

ELECTRICAL

MAIN PANEL Location: **basement** Condition: Satisfactory Marginal Poor
Adequate Clearance To Panel: Yes No Amperage: **100** Volts 120/240 Breakers Fuses
Appears Grounded: Yes No Not visible
G.F.C.I. present: Yes No **Operative:** Yes No
A.F.C.I. present: Yes No **Operative:** Yes No
MAIN WIRE: Copper Aluminum Copper clad aluminum Tin clad copper Not visible
Condition: Satisfactory Poor **Federal Pacific Panel Stab Lok® (See remarks page)***
Predominant BRANCH WIRE: Copper Aluminum* Copper clad aluminum Not visible
Condition: Satisfactory Poor **Recommend electrician evaluate/repair***
 Romex BX cable Conduit **Knob & tube****
 Read **REMARKS** addendum to report- "tripping breakers"

SUB PANEL(S) None apparent Breakers Fuses

ELECTRICAL FIXTURES

A representative number of installed lighting fixtures, switches, and receptacles located inside the house, garage, and exterior walls were tested and found to be:

Condition: Satisfactory Marginal Poor Not accessible, clutter, furniture
 Open grounds Reverse polarity GFCIs should be separated in kitchen & exterior
 missing knock outs/open on boiler electrical
 Loose wiring/electrical boxes, improper electrical installations/handyman
 Recommend electrician evaluate/repair*

GENERAL COMMENTS

ELECTRICAL: The kitchen outlets and exterior outlet were on same circuit; improper installation & should be separated for safety. There was a switch on front wall in living room/kitchen that is not apparently operating any devices. Further evaluate with the sellers and/or electrician. The living room ceiling fan did not have a remote or a wall switch that worked and a black electrical wire hanging out of ceiling mount; further evaluate. There were mice dropping and/or grease tracks on bottom of the electrical panel, wiring/ledges in basement and in the home. Recommend a building contractor evaluate all entry points for sealing/closing up gaps. Mice or rodents can chew on electrical and cause damage or potential health hazards. There were loose wires or cables in the attic; view from ladder in bedroom closet scuttle. Recommend having wiring evaluated and advise on cleanup up/repairs for safety. There were loose or hanging wires/cables/boxes, improperly installed electrical boxes, missing covers, ceiling fan not working (wires sticking out of ceiling), etc. Recommend a licensed electrician evaluate electrical in home and advise on repairs for safety. The electrical service entry should have putty replaced whenever cracked to maintain water tight seals and avoid water entry into the electrical panel. Each family has different electrical requirements or needs. If more power is needed, discuss needs with electrician and have added. Do not use extension cords, multiplier adapters or power strips to add more power; fir safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such a sump pumps, garage door openers, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits.

CONCERNS:

- The kitchen outlets and exterior outlet were on same circuit; improper installation & should be separated for safety. There was a switch on front wall in living room/kitchen that is not apparently operating any devices. Further evaluate with the sellers and/or electrician. The living room ceiling fan did not have a remote or a wall switch that worked and a black electrical wire hanging out of ceiling mount; further evaluate. There were mice dropping and/or grease tracks on bottom of the electrical panel, wiring/ledges in basement and in the home. Recommend a building contractor evaluate all entry points for sealing/closing up gaps. Mice or rodents can chew on electrical and cause damage or potential health hazards. There were loose or hanging wires or cables in the attic; view from ladder in bedroom closet scuttle. Recommend having wiring evaluated and advise on cleanup up/repairs for safety. There were loose wires/cables/boxes, improperly installed electrical boxes, missing covers, ceiling fan not working (wires sticking out of ceiling), etc. Recommend a licensed electrician evaluate electrical in home and advise on repairs for safety.**